



City of Cranston Zoning Board of Review *December 11, 2024*

Chairman of the Board
Christopher E. Buonanno

Members

Joy Montanaro (Vice-Chair)

Ivy Swinski

Dean Perdikakis

Carlos Zambrano

Anthony Mastantuono (1st Alternate)

Vacant (2nd Alternate)

Frank Corrao III (3rd Alternate)

Vacant (4th Alternate)

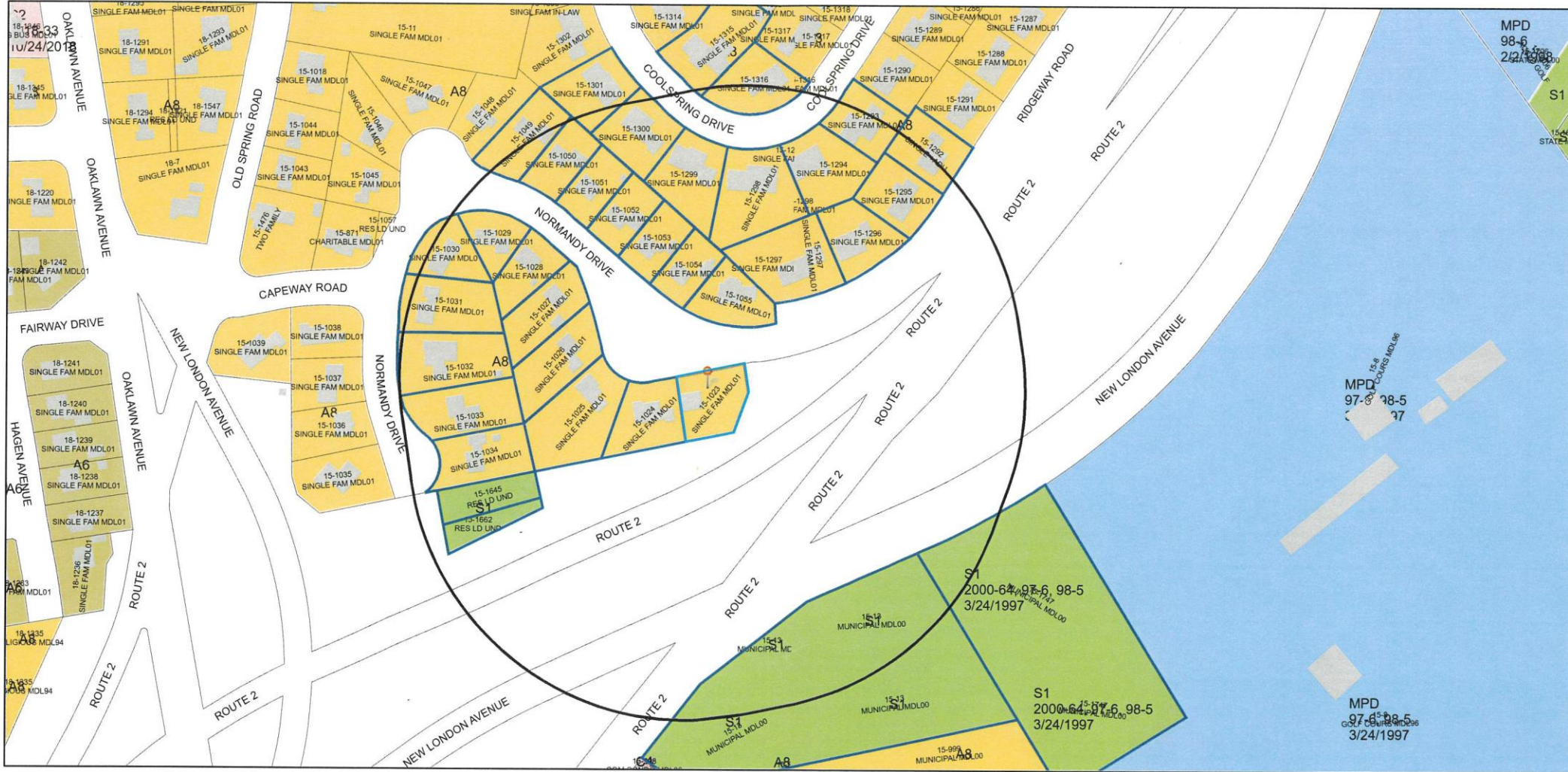
► Ward 6

► **THOMAS J. DONELLY and MELISSA A. DONELLY (OWN/APP)** have applied to the Board to allow an accessory garage structure to be built in the required front yard setback at **24 Normandy Drive**, A.P. 15, lot 1023; area 6,957sf; zoned A-8. Applicant seeks relief per Section 17.92.010-Variances; Section 17.60.010(B)- Location of Residential Accessory Buildings.

► Application filed 10/8/2024. No Attorney.

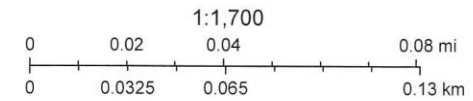


24 Normandy Dr 400' Radius Plat 15 Lot 1023



9/24/2024, 2:29:47 PM

- | | | | | | | | |
|----------------------------|--|---------------------------|-----|--|----|--|-------|
| Selected Parcels in Buffer | | Parcels | A80 | | B2 | | M1 |
| Selected Parcels | | Buildings | A20 | | C1 | | M2 |
| Parcels In Buffer | | Zoning Dimensions | A12 | | C2 | | EI |
| Parcel ID Labels | | Historic Overlay District | A8 | | C3 | | MPD |
| Streets Names | | Zoning | A6 | | C4 | | S1 |
| Cranston Boundary | | none | B1 | | C5 | | Other |



City of Cranston

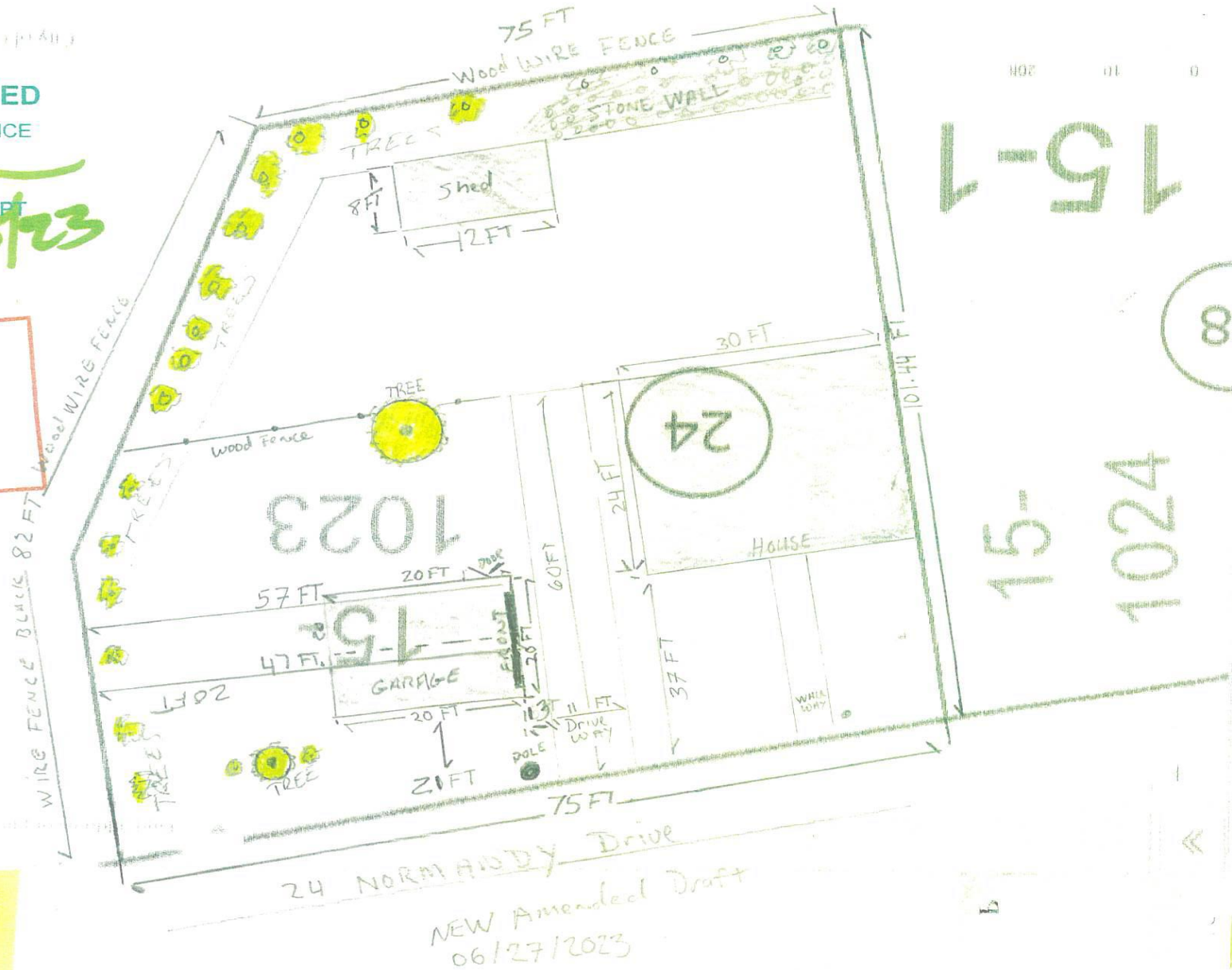
Thomas J. Donnelly
401-623-1116
24 Normandy Drive
CRANSTON, RI 02920

PERMIT GRANTED

JUL 23 2023
PLANS APPROVED
CRANSTON-07
FOR CODE COMPLIANCE

SJM
CRANSTON BUILDING DEPT
7/25/23

SITE
COPY



15-1

15-1024

8

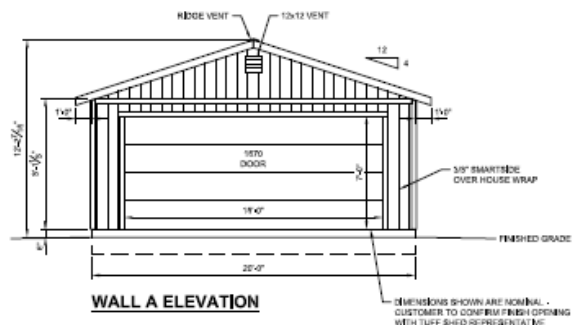
NEW Amended Draft
06/27/2023

ACCESSORY BUILDING
20' X 20' = 400 SQ FT

DRAWING INDEX
S1 - PROJECT NOTES, ELEVATIONS
S2 - PLANS, SHEAR WALL SCHEDULE
S3 - SECTIONS, DETAILS

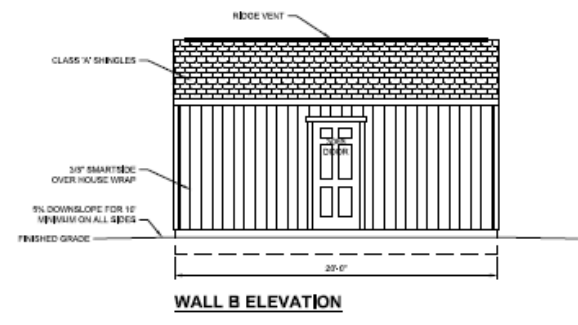
PROJECT NOTES

- DESIGN REQUIREMENTS
GOVERNING CODES: 2018 IRC
OCCUPANCY GROUP GROUP U
CONSTRUCTION TYPE I/II
- DESIGN SCHEDULE
 - BUILDING SIZE
WIDTH: 20'-0"
LENGTH: 20'-0"
SIDE WALL HEIGHT: 8'-11"
TOTAL HEIGHT: 12'-2 1/2"
 - ROOF PITCH: 4/12
ROOF LIVE LOAD: 30 PSF
ROOF DEAD LOAD: 18 PSF
 - DESIGN WIND
BASIC WIND SPEED: 135 MPH
WIND EXPOSURE: C
DESIGN WIND CATEGORY: B
SITE CLASS: D
- ROOFING SCHEDULE
 - ROOF SHEATHING SHALL BE APA RATED 1/2" THICK OSB WITH FOIL BACKING, 24% RATED MIN, UNBLOCKED DIAPHRAGM, STAGGER LAYOUT PER APA CONDITION 1.
 - SHEATHING NAILING SHALL BE PER NAILING SCHEDULE.
 - 1/2" THICK DIMENSIONAL ASPHALT SHINGLES (W/ALG).
 - GAF FELT UNDERLAY.
 - TYPE 'D' METAL SHIP EDGE FLASHING REQUIRED ALL SIDES.
 - TRUSSES SHALL BE SPACED @ 24" OC.
 - SEE SEPARATE TRUSS SHEETS FOR TRUSS FRAMING AND MATERIALS.
 - TRUSSES MUST BE BRACED ACCORDING TO THE LATEST EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE OF METAL PLATE CONNECTED WOOD TRUSSES (BCSI).
 - TRUSS CONNECTION PLATES: SAGLE METAL PLATES.
 - THE TRUSS PLATE INSTITUTE (TPPI) (OVER CA 450) IS THE INSPECTION AGENCY RESPONSIBLE FOR IN-PLANT INSPECTIONS.
 - TRUSS MANUFACTURER: TUFF SHED, INC.
- WOOD FRAMING
 - ALL HEADERS ARE SPF #2 (W/ALG).
 - ALL WALL FRAMING MEMBERS SHALL BE SPF STUD GRADE OR BETTER.
 - STUDS SHALL BE SPACED @ 16" OC.
 - FASTEN EXTERIOR WALL SHEATHING TO FRAMING PER NAILING SCHEDULE.
 - PROVIDE SOLID BLOCKING AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.
 - SHEAR WALL MATERIAL AND NAILING SHALL BE AS SPECIFIED IN SHEAR WALL SCHEDULE.
 - LAMINATED VENEER LUMBER (LVL) SHALL BE LVL 2X6-2000 F, WITH THE FOLLOWING MIN. DESIGN VALUES: $F_v = 2600$ PSL F, $F_c = 1866$ PSL F, $E = 295$ PSL F, $E_g = 2919$ PSL F, $E_{gl} = 758$ PSL E = 2.5 x 16" PSL D = 0.26
- SOIL
 - MIN. REQUIRED SOIL TYPE SHALL BE CLAY SANDY CLAY, SILTY CLAY, OR CLAYEY SILT (CL, ML, MH & CH). PRESCRIPTIVE ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN IS 1500 PSF AT 4" DEEP. VALUES ARE PER TABLE B401.1.1.
 - ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATURAL SOIL.
 - IN THE EVENT OF THE DISCOVERY OF EXPANSIVE SOILS OR UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER MAY BE REQUIRED.
- PERMIT
 - PERMIT APPLICATIONS, WHERE NO PERMIT IS ISSUED, SHALL EXPIRE PER LIMITATIONS SET BY LOCAL CODES, SECTION R105.
 - JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
- GENERAL NOTES
 - INSTALLATION PROCEDURES SHALL CONFORM TO OSHA STANDARDS, SCHEDULER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, TREES, UTILITIES, ETC.
 - SCHEDULER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.
 - ALL WOOD CONSTRUCTION CONNECTORS REFERENCED IN THIS DRAWING SHALL BE SIMPSON STRONG-TIE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - GREEN NAILS (SINKER NAILS) DO NOT MEET THE NAILING REQUIREMENTS OF COMMON NAILS.
- MATERIAL EVALUATION REPORT IDENTIFICATION
 - TRUSS CONNECTION PLATES BY SAGLE METAL PLATES PER ICCES REPORT ESR-3149.
 - SMARTSIDE SIDING BY LP CORPORATION PER ICCES REPORT ESR-3476.
 - HARDE PANEL SIDING BY JAMES HARDE BUILDING PRODUCTS PER ICCES REPORT ESR-3474.
 - HARDE PLANK LAP SIDING BY JAMES HARDE BUILDING PRODUCTS PER ICCES REPORT ESR-3474.
 - LAMINATED VENEER LUMBER (LVL) BY WEYERHAEUSER PER ICCES REPORT ESR-3474.
 - ASPHALT SHINGLES BY GAF PER ICCES REPORT ESR-1475.
 - FELT UNDERLAYMENT BY GAF PER ICCES REPORT ESR-3474.
 - HOU PREFLECTED HOLLOWDOVS BY SIMPSON STRONG-TIE PER ICCES REPORT ESR-2024.
 - SOILS ANCHOR BOLTS BY SIMPSON STRONG-TIE PER ICCES REPORT ESR-2811.

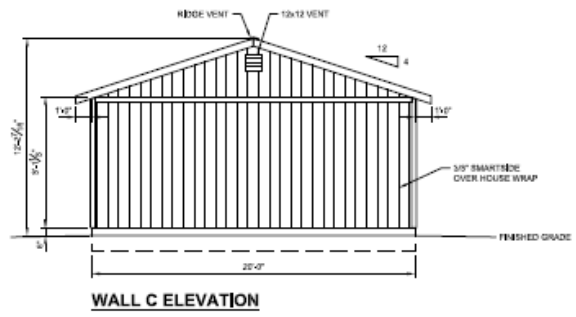


WALL A ELEVATION

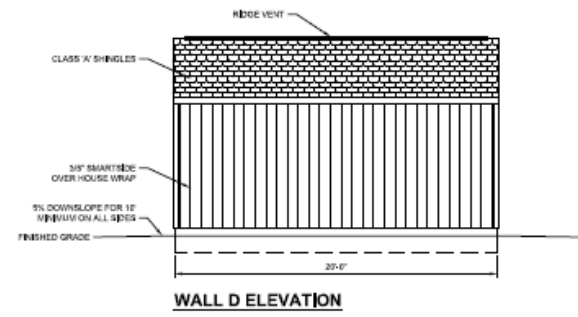
DIMENSIONS SHOWN ARE NOMINAL - CUSTOMER TO CONFIRM FINISH OPENING WITH TUFF SHED REPRESENTATIVE



WALL B ELEVATION



WALL C ELEVATION



WALL D ELEVATION

STRUCTURAL DRAWINGS BY:
TUFF SHED

SOIL SCHEDULE - ESR-3476 SHEET
Customer: THOMAS CONNELLY

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY TUFF SHED, INC.

TUFF SHED
Storage Buildings & Carages
TUFF SHED, INC.
1777 S. BARKER STREET
DENVER, COLORADO 80210
303.753.1111
www.tuffshed.com

Drawn By: AMX
Date: 4/27/23
Checked By:
Date:
Revised:
Revised:
Title:

PROJECT NOTES
ELEVATIONS

Scale: 1/4" = 1'-0"
Sheet

S1



► **Ward 4**

► **RGD REALTY, LLC (OWN/APP)** has filed an application to expand an existing car wash use, construct three additions encroaching into front and rear setbacks, and to increased signage allowance at **801 Oaklawn Avenue**; A.P.18, lot 1603; area 23,652 s.f; zoned C-2. Applicant seeks relief per Section 17.92.010-Variances; Sections 17.20.120 Schedule of Intensity; 17.88.030 (A)- Extension.

► Application filed on 11/12/2024. Attorney Joseph Brennan, Esq.



87272

Version 02
11-04-24

Freeway Car Wash
801 Oaklawn Ave.
Cranston, RI

Exterior
Signage



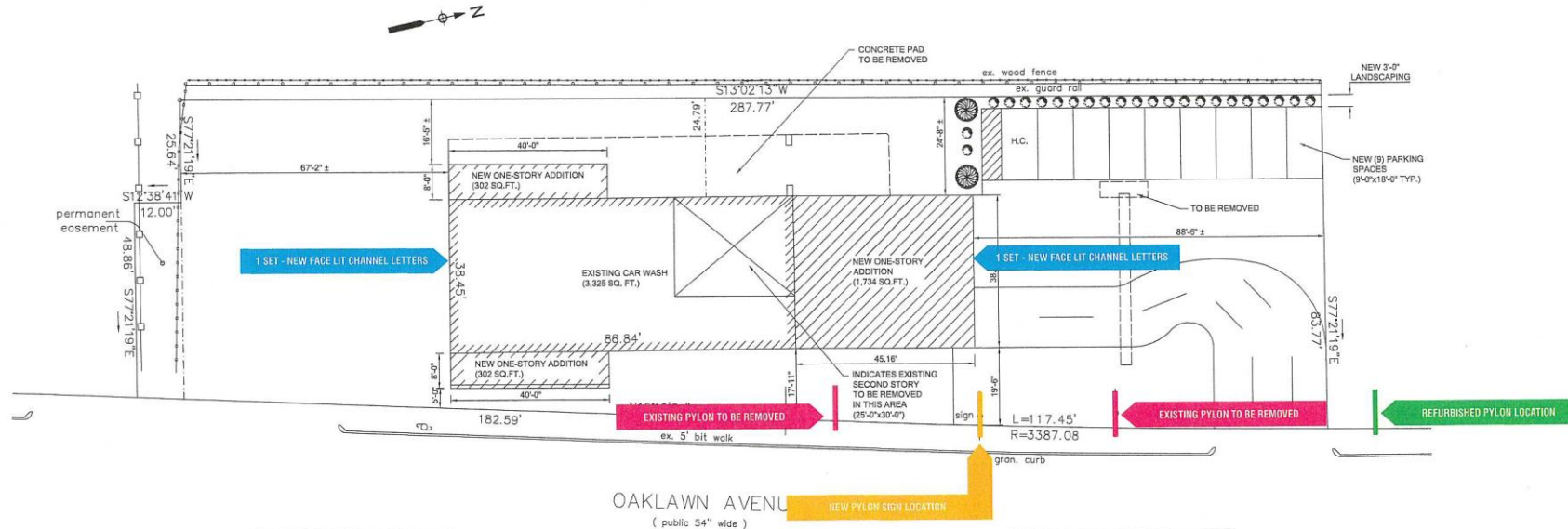
1200 Fall River Ave.
Seekonk, MA
508-336-5858

SALES REPRESENTATIVE
Ryan Beattie
INTERNAL PROJECT MANAGER
-
FIELD MANAGER
-
ACCOUNT COORDINATOR
Michaela Valentino
DESIGNER
BM

SCALE 10%

SHEET
05 of 05

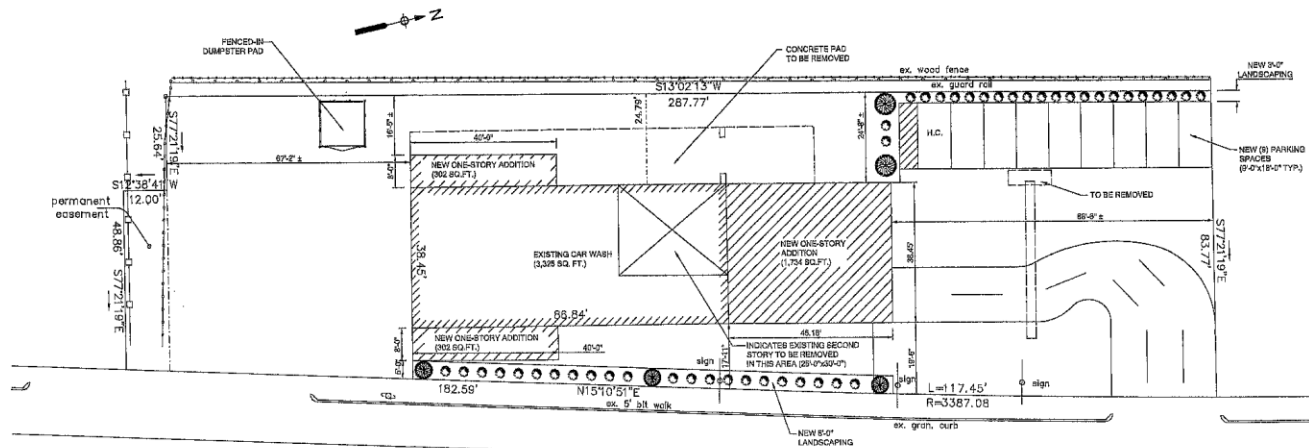
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AP 18/4 LOT 1603
TOTAL AREA
23,652 sq. ft.
d.b. 3765 pg. 86

EXISTING CAR WASH AREA = 3,325 SQ. FT.
NEW ADDITION AREA = 1,734 + 320 + 320 SQ. FT.
= 2,374 SQ. FT.
TOTAL PROPOSED BUILDING AREA = 5,699 SQ. FT.

PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



AP 18/4 LOT 1603
 TOTAL AREA
 23,652 sq.ft.
 d.b. 3765 pg. 88

EXISTING CAR WASH AREA = 3,328 SQ. FT.
 NEW ADDITION AREA = 1,734 + 320 + 302 SQ. FT.
 = 2,356 SQ. FT.
 TOTAL PROPOSED BUILDING AREA = 5,689 SQ. FT.

OAKLAWN AVENUE
 (public 54' wide)
 RIHP 616

PROPOSED SITE PLAN
 SCALE: 1/4" = 1'-0"

PROPOSED ADDITIONS
801 OAKLAWN AVENUE
CRANSTON, RHODE ISLAND

DRAWN BY:
MGL
 CHECKED BY:
RJL

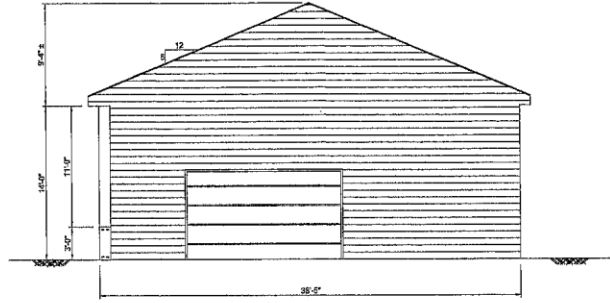
LOQA ENGINEERS, LLC
 CONSULTING ENGINEERS
 49 BATCHELLER AVENUE
 PROVIDENCE, RI 02904
 rjloqa@verizon.net

SCALE:
 AS NOTED

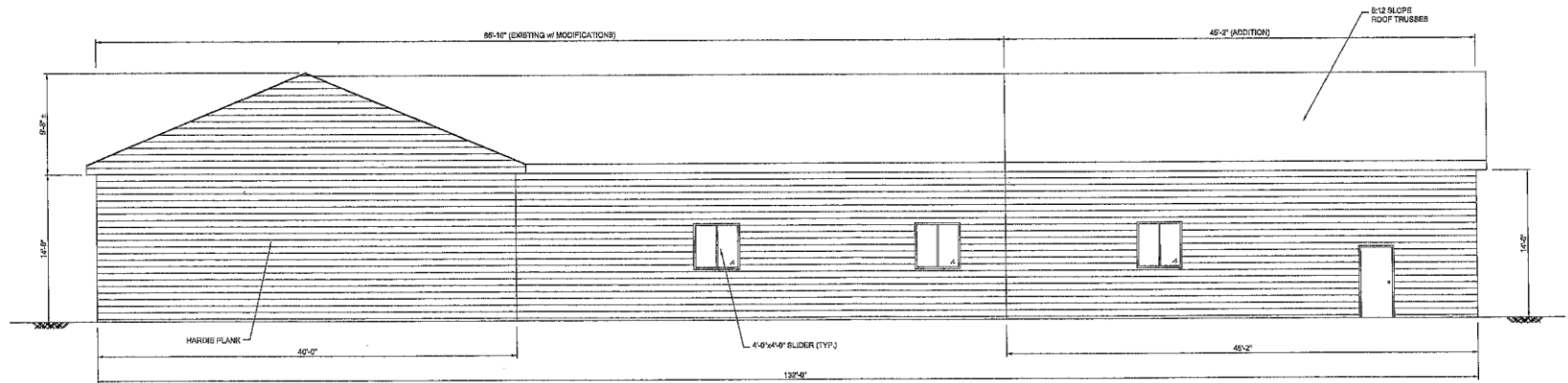
CONTENTS:
 SITE PLAN

DATE:
 OCTOBER 2024

SHEET NO:
C100



PROPOSED SIDE ELEVATION
SCALE: 3/8" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 3/8" = 1'-0"

PROPOSED ADDITIONS
801 OAKLAWN AVENUE
CRANSTON, RHODE ISLAND

DRAWN BY:
MGL
CHECKED BY:
RJL

LOQA ENGINEERS, LLC
CONSULTING ENGINEERS
49 BATTLELLER AVENUE
PROVIDENCE, RI 02904
rljoc@verizon.net

SCALE:
AS NOTED

CONTENTS:
ELEVATIONS

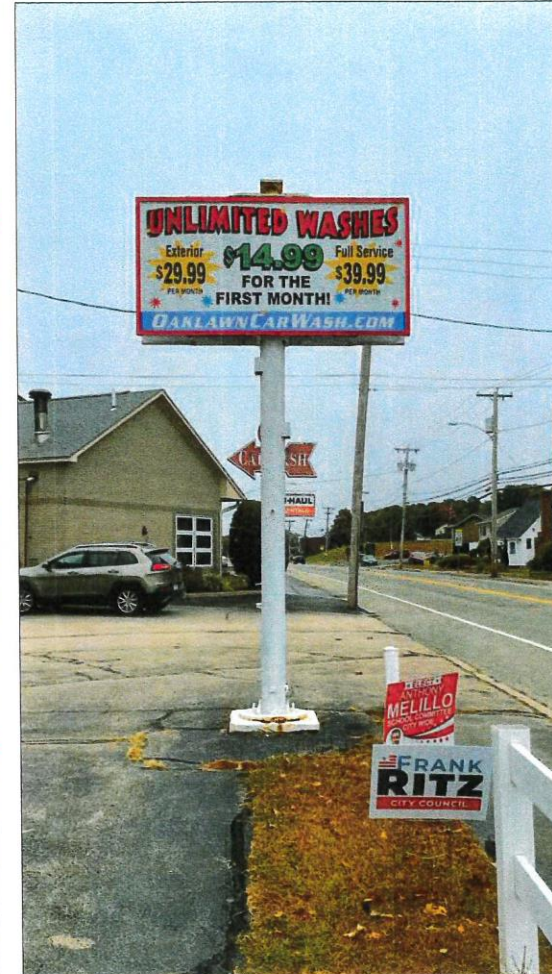
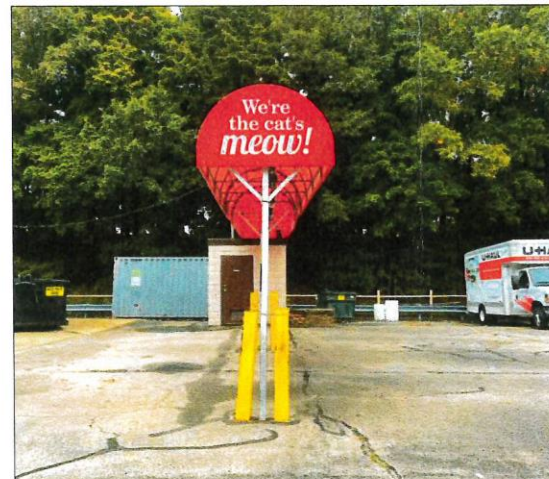
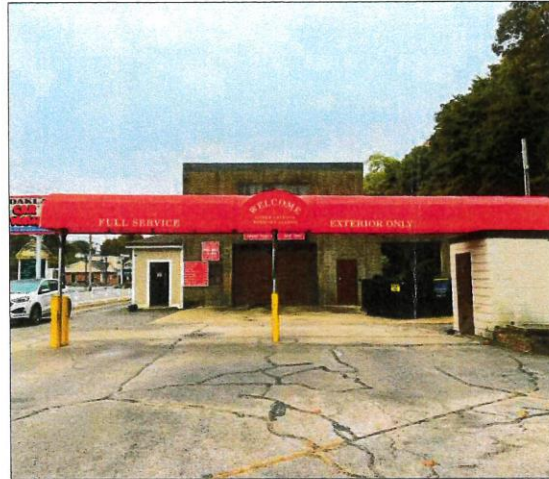
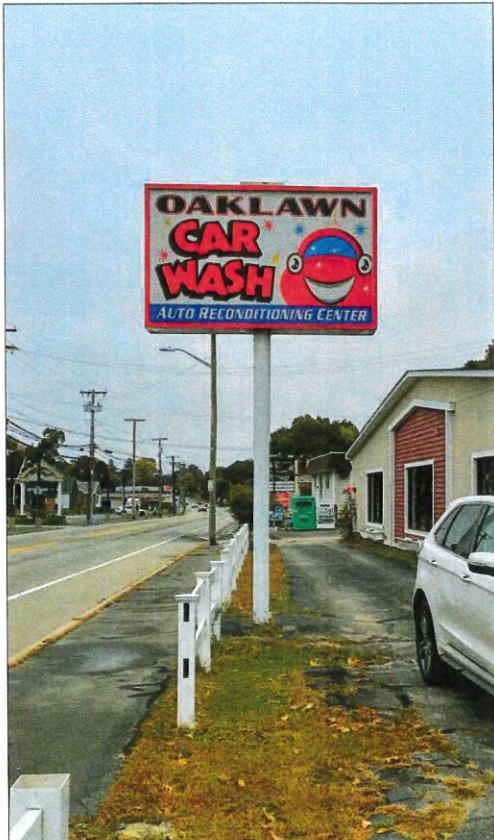
DATE:
OCTOBER 2024

SHEET NO:
S200

Sign Removal

Quantity: 2 Pylons / 1 Awning

- 1 Sign Removal / Disposal
 - "Unlimited" Pylon Sign Removal / Disposal
 - Existing Awning Structure Removal / Disposal



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Version 02
11-04-24

Freeway Car Wash
801 Oaklawn Ave.
Cranston, RI

Exterior
Signage

**Signs
& Sites**
A DIVISION OF SIGN DESIGN

1200 Fall River Ave.
Seekonk, MA
508-336-5858

SALES REPRESENTATIVE
Ryan Beattie

INTERNAL PROJECT MANAGER

FIELD MANAGER

ACCOUNT COORDINATOR
Michaela Valentino

DESIGNER
BM

SCALE 10%

SHEET
04 of 05

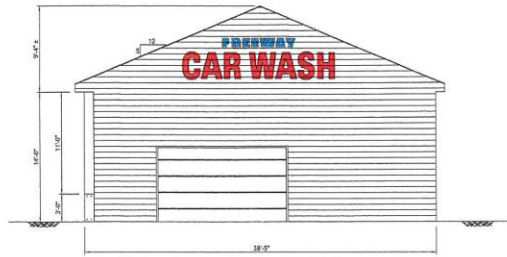
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Channel Letters

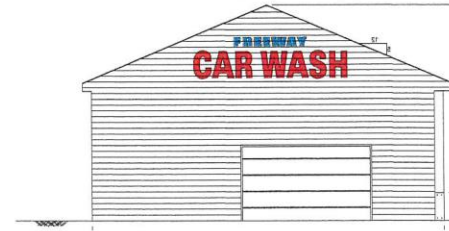
Quantity: 2 Sets

- 1 Face-Lit Channel Letters (LED)
 - 5" Deep - .040 Aluminum Returns (White)
 - 1" Trim Caps (White / Red)
 - 3/16" White Acrylic Faces
 - Trans Vinyl Graphics (Colors TBD)

- 2 Installation
 - Stud Mounted Flush to Wall



SIDE 1 OF BUILDING



SIDE 2 OF BUILDING



2 End View
Scale: 1:10
Fabrication

1 Elevation
Scale: 1:10
Fabrication

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01 of 05

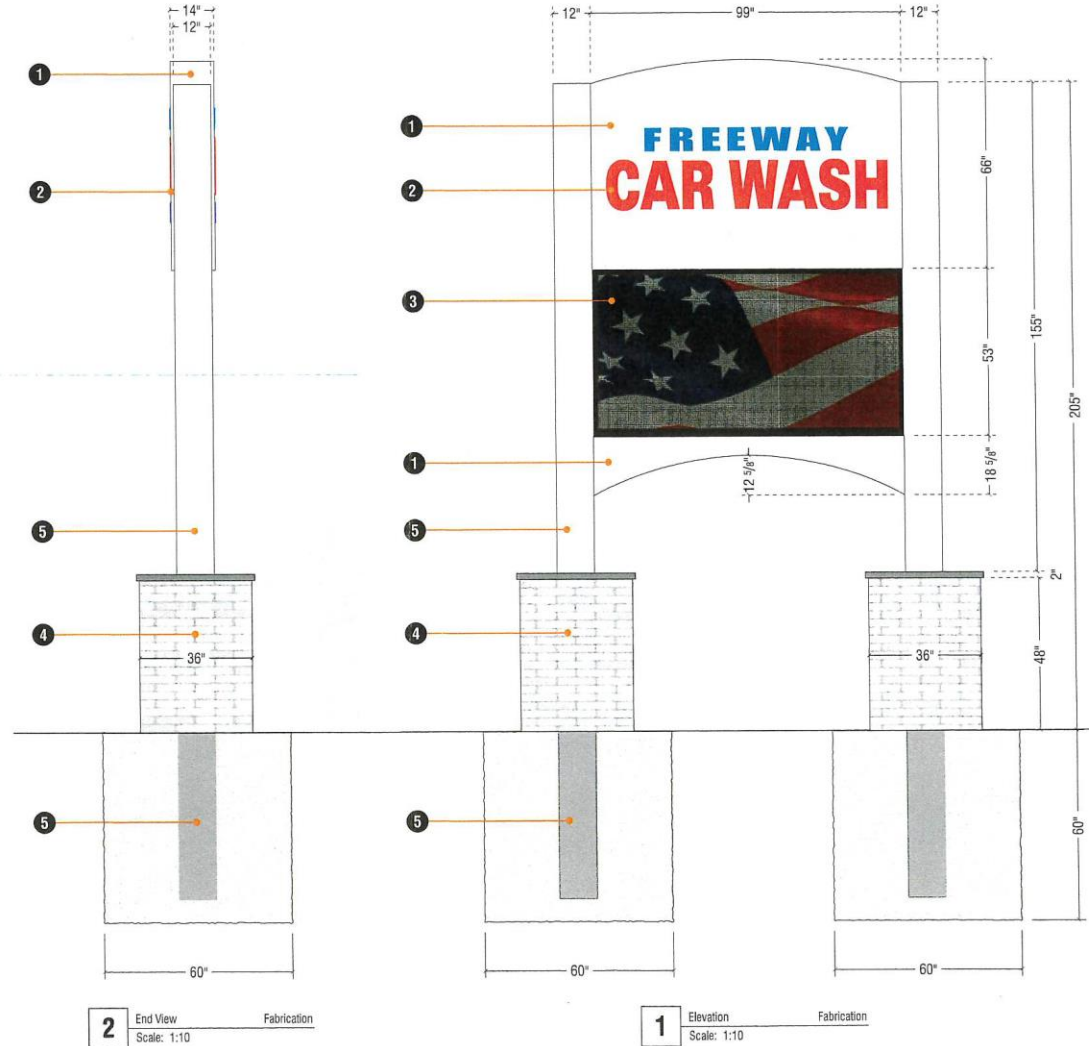
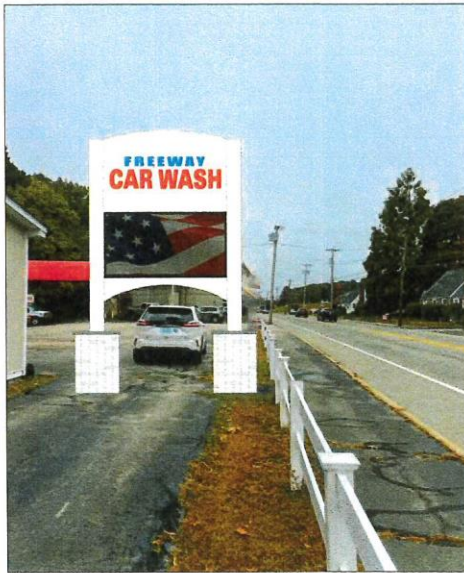
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Pylon Sign

Quantity: 1 Double-Sided

- 1 **Sign Cabinet / Structure (LED)**
 - 1" Sq. Tube Aluminum Frame
 - 1/8" Aluminum Faces (Stencil-Cut) (Painted: White)
 - .090 Aluminum Skirting (Painted: White)
- 2 **Graphics (Illuminated)**
 - 1/2" White Acrylic Push-Thru Graphics
 - Trans Vinyl Applied to Face (Red / Blue)
- 3 **Digital Displays**
 - 8mm Full Color Watchfire Electronic Message Center
- 4 **Masonry (By Others)**
 - White Brick with 2" Limestone Cap
- 5 **Installation**
 - 12" x 12" x 1/4" Steel Tube Post (Painted: White)
 - Direct Burial into Concrete Footing

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



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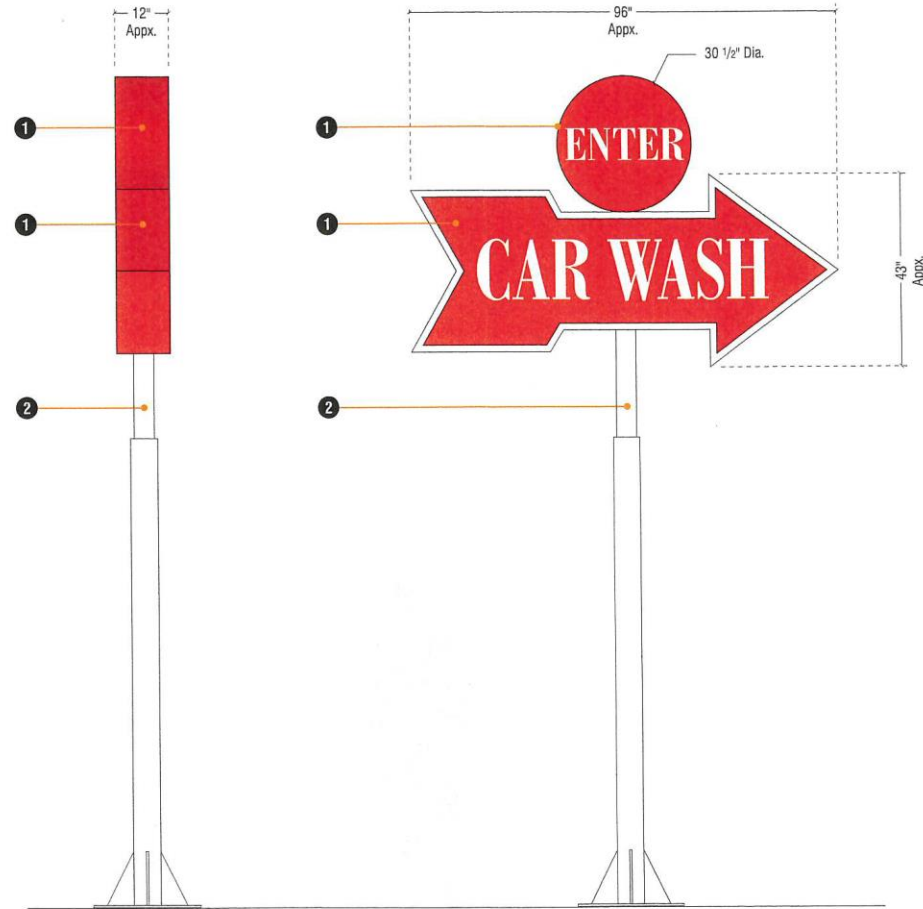
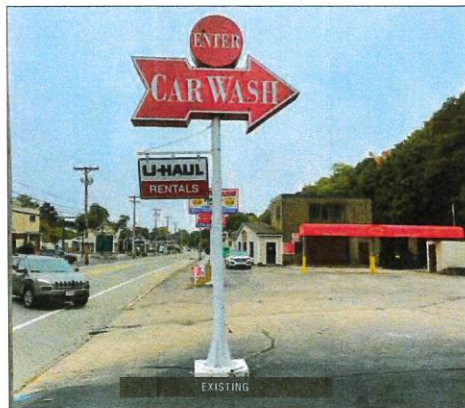
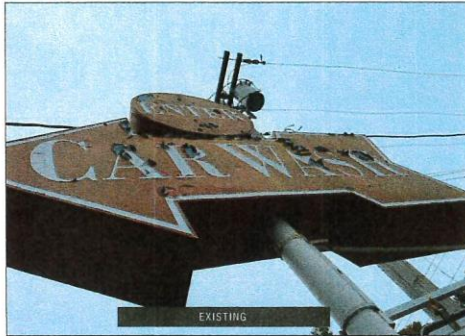
SHEET
02 of 05

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Repair / Refurbish Existing Pylon Sign

Quantity: 1 Double-Sided

- 1 Sign Cabinets (Non-Illuminated)**
 - Reface with 1/8" Aluminum (Painted: Red TBD)
 - .063 Aluminum Skirting / Returns (Painted: Red TBD)
 - Frisketed Graphics
- 2 Existing Pole**
 - Scrape / Repaint (White)
 - Remove Existing UHaul Sign and Bracket



2 End View Fabrication
Scale: 1:10

1 Elevation Fabrication
Scale: 1:10

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11-04-24

Freeway Car Wash
801 Oaklawn Ave.
Cranston, RI

Exterior
Signage



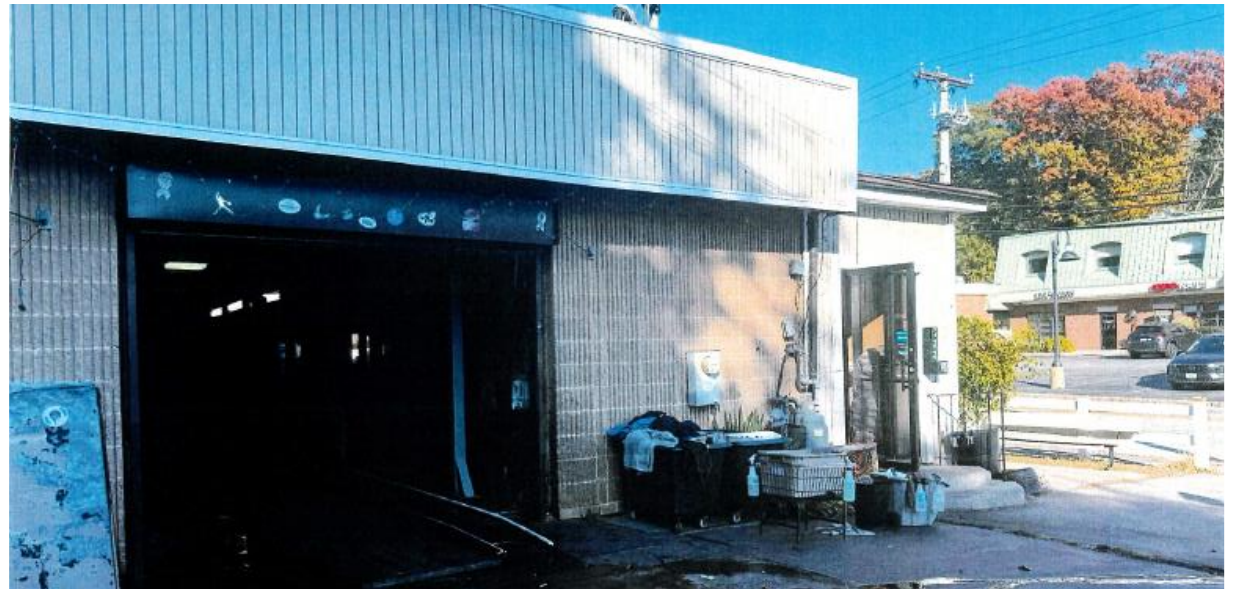
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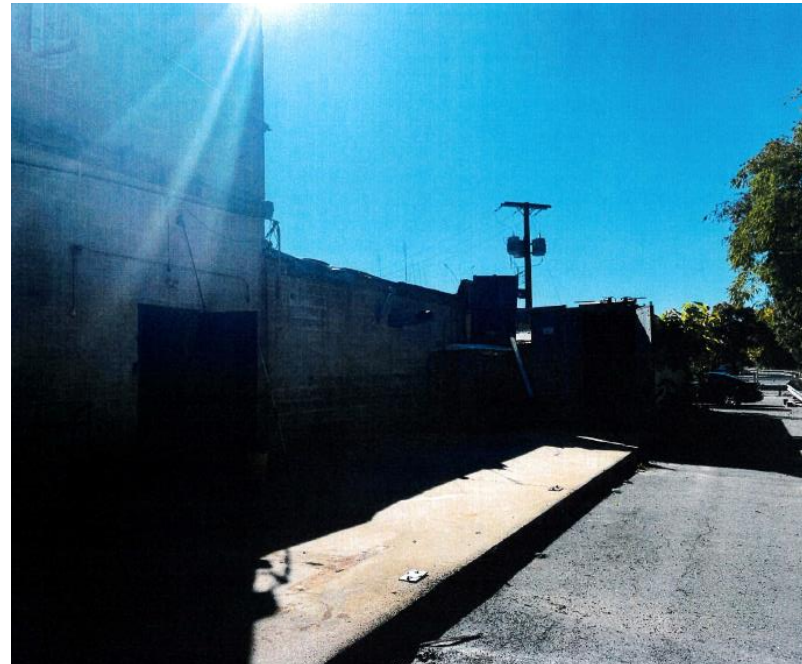
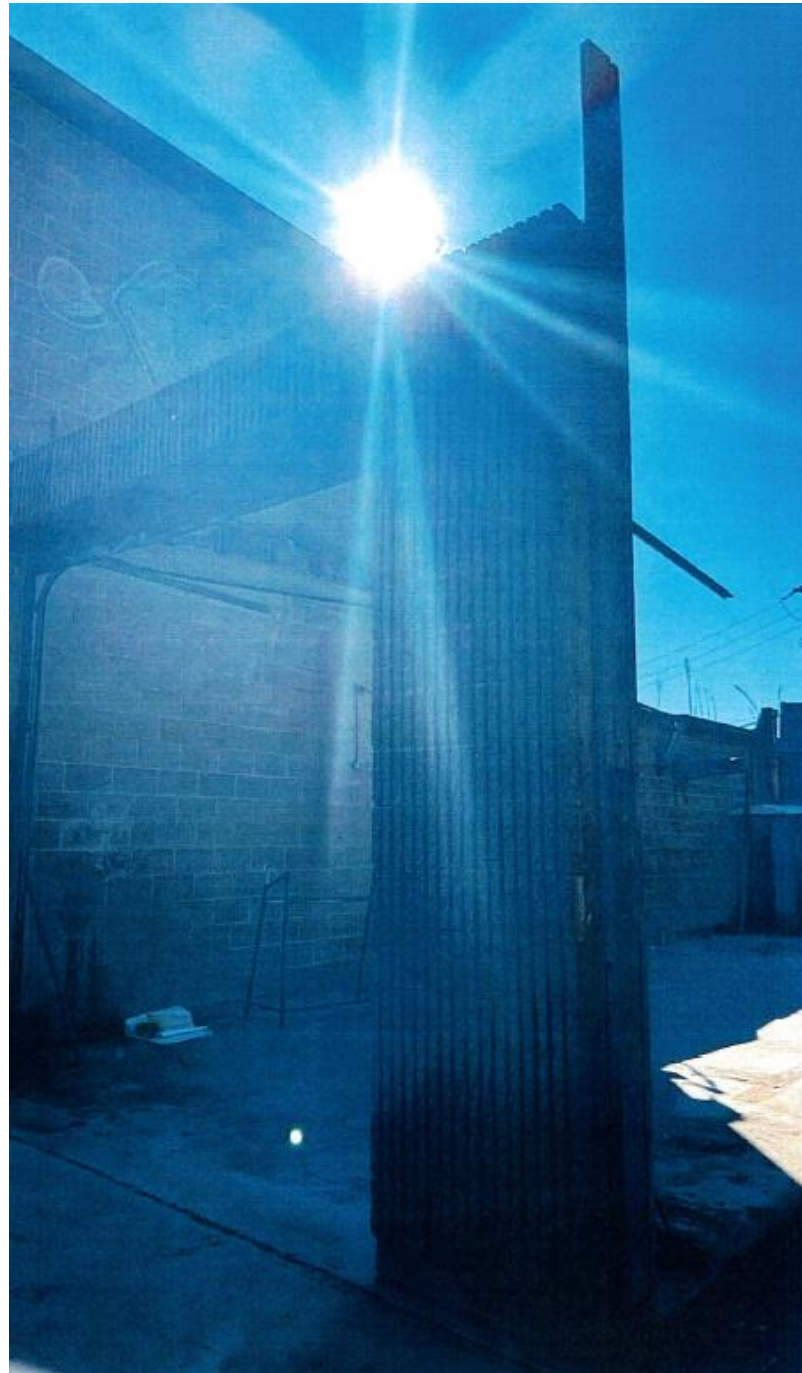
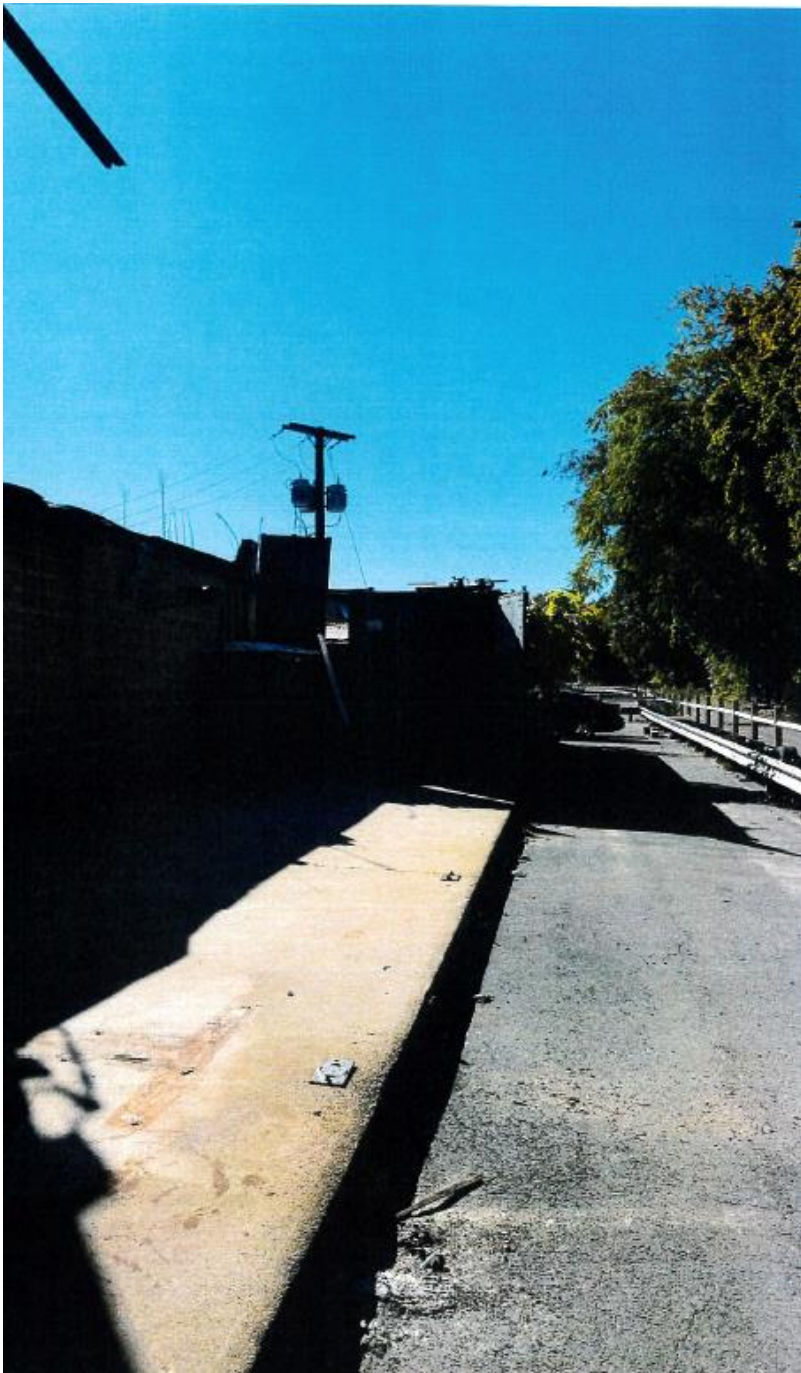
SALES REPRESENTATIVE
Ryan Beattie
INTERNAL PROJECT MANAGER
-
FIELD MANAGER
-
ACCOUNT COORDINATOR
Michaela Valentino
DESIGNER
BM

SCALE 10%

SHEET
03 of 05

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► **Ward 5**

► **THOMAS VESSELLA and ROBERT GASBARRO JR. (OWN/APP)** have applied to the Board for permission to raze an existing single-family dwelling and to construct a two-family

► structure on an under-sized lot with encroachment into the front corner yard setback at **1573 Cranston Street**, A.P. 8, Lot 276; area 7,000 sf; zoned B-1. Applicant seeks relief per Section 17.92.010-Variances; Sections 17.20.120 Schedule of Intensity; 17.20.090 (A)-Specific Requirements.

► Application filed on 11/13/2024. Attorney Tenessa Azar, Esq.



1573 Cranston St 400' Radius Plat 8 Lot 276



- | | | | | |
|-----------------------|---------------------------|-----|----|-------|
| ParcelsInBuffer | Cranston Boundary | A20 | C1 | M1 |
| SelectedParcels | Cranston Boundary | A6 | C2 | M2 |
| SelectedParcelsBuffer | Cranston Boundary | A8 | C3 | MPD |
| Stream/Water Body | Roads | A80 | C4 | Other |
| Swamp | Historic Overlay District | B1 | C5 | S1 |
| Buildings | A12 | B2 | EI | |



Disclaimer: This map/data/geospatial product is not the product of a Professional Land Survey. It is created for general reference, informational, planning and guidance use and is not a legally authoritative source as to location of natural or manmade features. Proper interpretation of this data may require the assistance of appropriate professional services. The City of Cranston makes no warranty, expressed or implied related to the spatial accuracy, reliability, completeness or currentness of this map/data.



LEGEND

	WATER LINE	123/124	DEED BOOK/PAGE		BOLLARD
	SEWER LINE	AP	ASSESSOR'S PLAT		SOIL EVALUATION
	SEWER FORCE MAIN	HC	HANDICAPPED		CATCH BASIN
	GAS LINE	N/F	NOW OR FORMERLY		DOUBLE CATCH BASIN
	ELECTRIC LINE	LC	LANDSCAPING		WATER VALVE
	OVERHEAD WIRES	(R)	RECORD		GAS VALVE
	DRAINAGE LINE	(CA)	CHORD ANGLE		WETLAND FLAG
	MINOR CONTOUR LINE		NAIL/SPIKE		DRAINAGE MANHOLE
	MAJOR CONTOUR LINE		DRILL HOLE		FLARED END SECTION
	PROPERTY LINE		IRON ROD/PIPE		GUY POLE
	ASSESSOR'S LINE		BOUND		ELECTRIC MANHOLE
	TREELINE		SIGN POST		UTILITY/POWER POLE
	GUARDRAIL		SEWER MANHOLE		LIGHTPOST
	FENCE		SEWER CLEANOUT		WELL
	RETAINING WALL		HYDRANT		MONITORING WELL
	STONE WALL		IRRIGATION VALVE		BENCH MARK
			UNKNOWN MANHOLE		TREE

GENERAL NOTES

1. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP A40070328H, MAP REVISED OCTOBER 2, 2019. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
3. HOUSE LAYOUT BASED ON 'LO X LL DUPLEX' PREPARED BY DLR DIMENSIONS.
4. EXISTING DWELLING TO BE RAZED.
5. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 8 LOT 276 IN THE CITY OF CRANSTON, PROVIDENCE COUNTY, RHODE ISLAND.
6. THE OWNER PER DEED BOOK 6549, PAGE 203 IS THOMAS VESSELLA & ROBERT GASBARRO JR.
7. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON DECEMBER 7, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.

PLAN REFERENCES

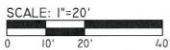
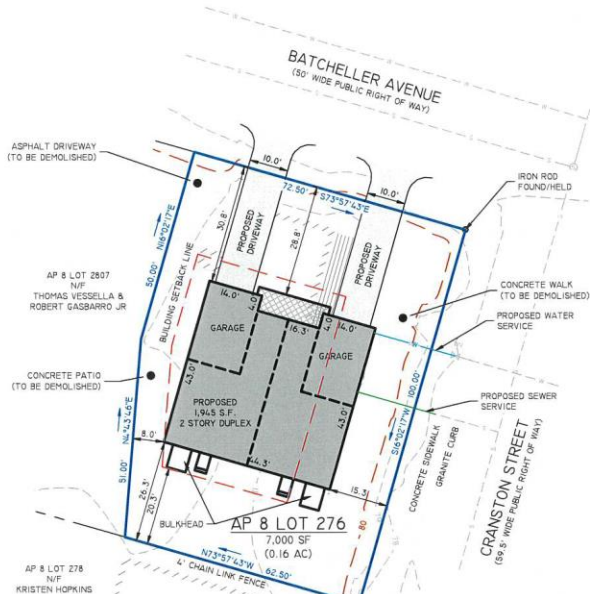
1. "PLAT OF LAND IN CRANSTON, R.I., BELONGING TO STEPHEN MATHEWSON", SURVEYED & PLATTED DEC. 1874, DRAWN BY J.A. LATHAM, SCALE 80 FT TO AN INCH.
2. "MINOR SUBDIVISION - RECORD PLAN, 1573 CRANSTON STREET SUBDIVISION" PREPARED FOR THOMAS WESELLA & ROBERT GASBARRO, JR. PREPARED BY DIPRETE ENGINEERING, DATED SEPTEMBER 9, 2022 SCALE 1"=20' PLAN BOOK 38, PAGE 72

ZONING NOTES

1. THE PARCEL AND ALL ABUTTING PARCELS ARE ZONED B-1 PER THE ASSESSOR'S ONLINE DATABASE.

	DIMENSIONAL REQUIREMENTS BASED ON EXISTING CRANSTON ZONING ORDINANCE SECTION 17.20.120 AND RIGL 4.5-26-38	
	REQUIRED (TWO-FAMILY)	PROVIDED
MINIMUM LOT AREA	8,000 SQUARE FEET	7,000 SQUARE FEET*
MINIMUM FRONTAGE AND LOT WIDTH	40 FEET	72.50 FEET
MINIMUM FRONT YARD (BATCHELLER AVE)	25 FEET	28.8 FEET
MINIMUM FRONT YARD (CRANSTON ST)	25 FEET	15.3 FEET*
MINIMUM SIDE YARD	8 FEET	8 FEET
MINIMUM REAR YARD	20 FEET	20.3 FEET
MAXIMUM LOT COVERAGE	35 %	27.8 %
MAXIMUM HEIGHT	35 FEET	30.1 FEET

*RELIEF REQUESTED
TABLE 17.20.120 - MINIMUM LOT AREA
TABLE 17.20.090(A) - SPECIFIC REQUIREMENTS
TABLE 17.20.120 - MINIMUM FRONT YARD



PLOT PLAN
1573 CRANSTON STREET SUBDIVISION
ASSESSOR'S PLAT 8 AND LOT 276
CRANSTON, PROVIDENCE COUNTY, RHODE ISLAND
THOMAS VESSELLA & ROBERT GASBARRO JR.
1573 CRANSTON STREET
WEST WASHINGTON, RHODE ISLAND 02893

No.	Date	Description	Drawn By: J.L.S.	Design By: J.L.S.
0	11/7/2024	2024 PLAN		

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 4.35-RIGL-20-20-1-9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2019, AS FOLLOWS:

- LIMITED CONTENT BOUNDARY SURVEY (BUILDING LOCATION SURVEY) CLASS 1-2
- TOPOGRAPHIC SURVEY CLASS T-2

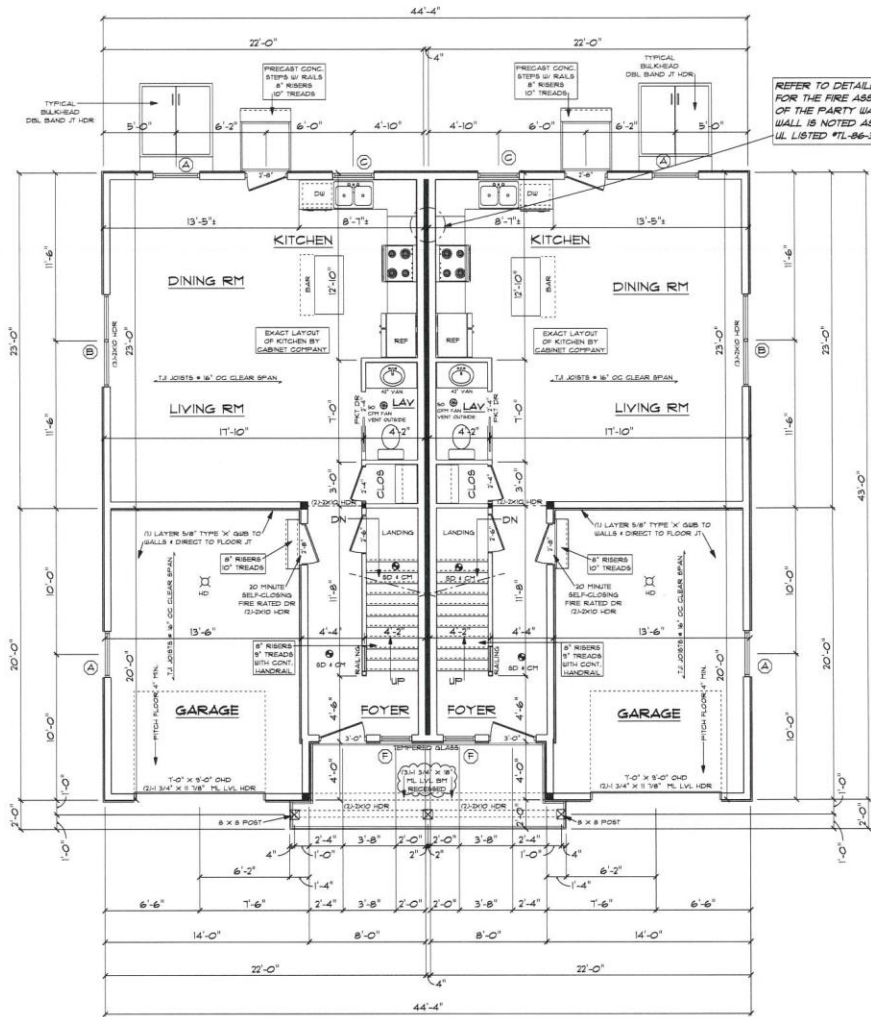
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS. DEPICT THE RELATIONSHIP BETWEEN THE LOT LINES AND PROPOSED BUILDING FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT.



Matthew Inzana 11/7/24
MATTHEW INZANA, R.I.P.S. #2537, COB. #13, 0204149

r:\deman\projects\3059-002 cranstn street 1573\unrec'd drawing\3059-002-jpin.dwg Plotted: 11/22/2024

CD Job No. 3059-002 Copyright 2024 by DiPrete Engineering Associates, Inc.



FIRST FLOOR PLAN 1/4"=1'-0"

2x6 STUDS @ 16" OC AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED

POINT LOAD FROM ABOVE PROVIDE THE FOLLOWING:
 (1) SOLID BLOCKING BETWEEN BEAM (OR BULL) AND PLYWOOD SUBFLOOR
 (2) A MINIMUM OF THREE STUDS IN A BEARING WALL AS BEAM JACKS

FIRST FLOOR: 642 SQ FT PER UNIT

- LEGEND:**
- SOLID BEARING TO FOUNDATION
 - ☼ SMOKE DETECTOR
 - ☼ SMOKE DETECTOR + CARBON MONOXIDE
 - ☼ HOT WATER
 - ☼ HEATING UNIT/ BOILER
 - ☼ 50 or 100 CFM FAN VENTED TO OUTSIDE
 - Ⓢ WINDOW UNIT NUMBER
 - Ⓢ HEAT DETECTOR (GARAGE)

REFER TO DETAILED NOTES FOR THE FIRE ASSEMBLY OF THE PARTY WALL WALL IS NOTED AS UL LISTED #1-86-348



FRONT ELEVATION 1/4"=1'-0"

WINDOW SCHEDULE

MANUFACTURER (OR EQUIVALENT) HARVEY WINDOWS PNL UFACTOR 35

UNIT	ROUGH OPENING	TYPE	WT	AREA - SILL FT ²	NET AREA	DESIGN PRESSURE
A	3'-2" x 6'-10"	SH	30	8.5 / 1.4'	5.80	30
B	4'-3" x 4'-10"	SH	30	5.0 / 1.4'	3.50	30
C	3'-0" x 3'-0"	SH	2	3.5 / 2.4'	2.31	30
D	7'-6" x 9'-10"	SH	2	13.0 / 1.4'	4.88	30
E	4'-3" x 4'-5"	SH	1	3.0 / 2.4'	2.31	30
F	7'-0" x 4'-0"	SH	2	6.4 / 2.4'	3.52	30

DOOR SCHEDULE

UNIT	ROUGH OPENING	TYPE	WT	AREA - SILL FT ²	NET AREA	DESIGN PRESSURE
A	3'-0" x 7'-0"	SH	30	3.0 / 2.4'	2.31	30

DESIGN PRESSURE

WIND ZONE	SO. PRES. REQUIRED	PRESSURE PROVIDED
1	15.0	30

- THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.
- KINCK - 2 - 2021
 - WIND DESIGN: ZONE 1 (100 MPH)
 - LOAD DESIGN: 40 PSF LIVING AREA LOADS
30 PSF SLEEPING AREA LOADS
30 PSF DEAD LOADS
40 PSF ATTIC LOADS
40 PSF EXTERIOR DECK LOADS
30 PSF SNOW LOADS
 - FROST DEPTH: MINIMUM 3'-6" DEEP
 - CLIMATE ZONE: 8
 - CONSTRUCTION TYPE: MB
 - BUILDING HEIGHT: (MAXIMUM 35'-0") MEASURED FROM TOP OF FOUNDATION TO RIDGE
 - ALL INSULATION IN EXTERIOR WALLS ARE BASED ON THE PRINCIPLES AS FROM THE PRESCRIPTIVE METHOD OF TABLE N102.12 OF THE ENERGY CONSERVATION CODES.

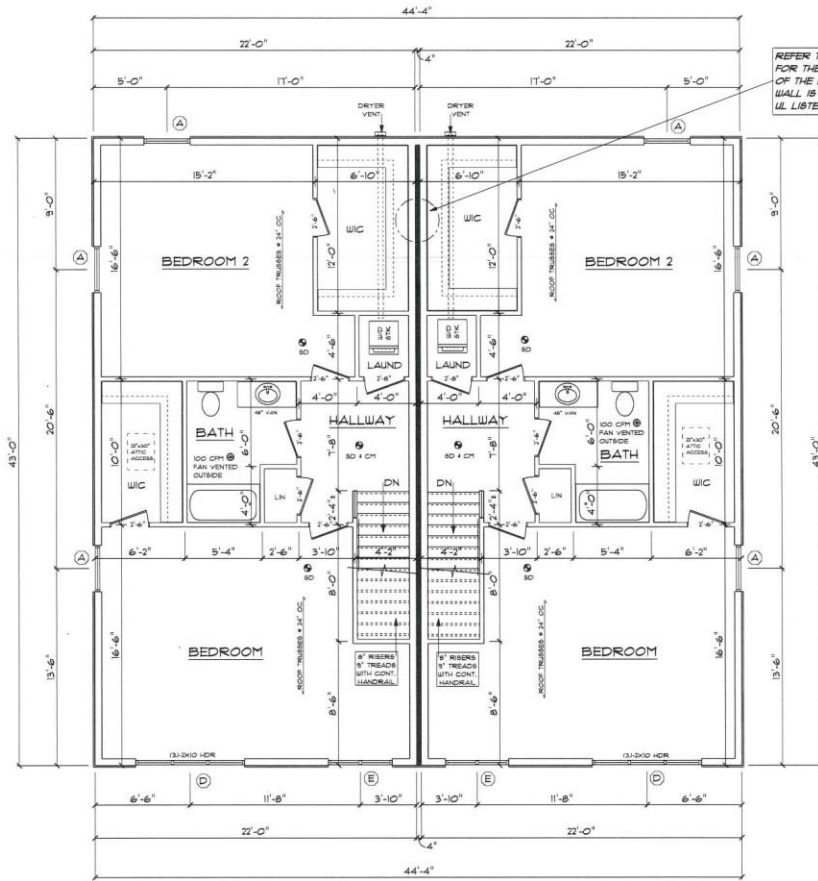
40 X 44 DUPLEX
 PREPARED FOR:
 ROBERT GASBARRO
 O BACHELLER AVENUE
 GRANITON, RICHIE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE USE ONLY
 DLR DIMENSIONS, INC.
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 401.738.3156
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DLR DIMENSIONS, INC. IS AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER. ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO BE LICENSED AND REGISTERED WITH THE STATE OF MARYLAND.

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 DRR
 DRAWN BY DRR
 DRAWING NUMBER 6159
 1 of 4



REFER TO DETAILED NOTES FOR THE FIRE ASSEMBLY WALL IS NOTED AS UL LISTED #1L-348

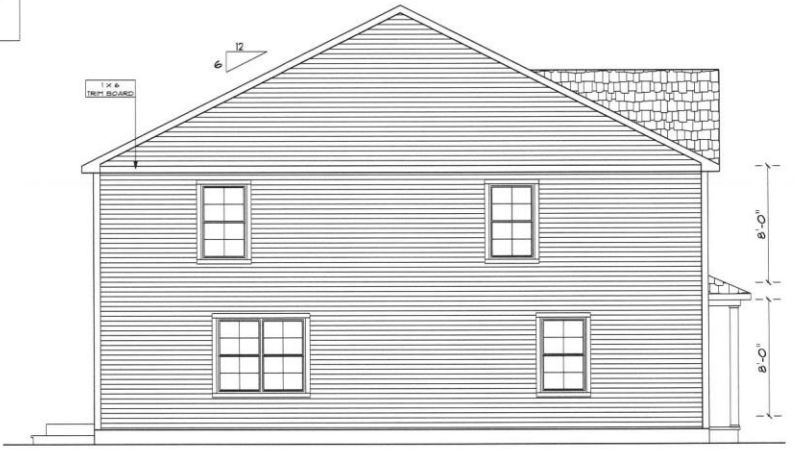
2x6 STUDS @ 16" OC AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED

• POINT LOAD FROM ABOVE PROVIDE THE FOLLOWING:
 (1) SOLID BLOCKING BETWEEN BEAM OR SILL AND FLYWOOD SUBFLOOR
 (2) A MINIMUM OF THREE SIZES IN A BEARING WALL OR BEAM JOCK

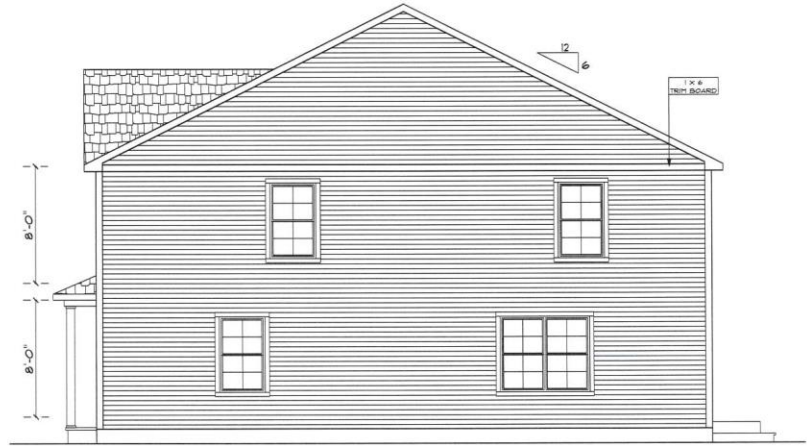
SECOND FLOOR PLAN 1/4"=1'-0"

SECOND FLOOR: 946 SQ FT PER UNIT

- LEGEND:**
- SOLID BEARING TO FOUNDATION
 - SD SMOKE DETECTOR
 - SD 4 CO SMOKE DETECTOR 4 CARBON MONOXIDE
 - HW HOT WATER
 - HU HEATING UNIT/ BOILER
 - FAN 50 or 100 CFM FAN VENTED TO OUTSIDE
 - WU WINDOW UNIT NUMBER
 - HTD HEAT DETECTOR (GARAGE)



LEFT SIDE ELEVATION 1/4"=1'-0"



RIGHT SIDE ELEVATION 1/4"=1'-0"

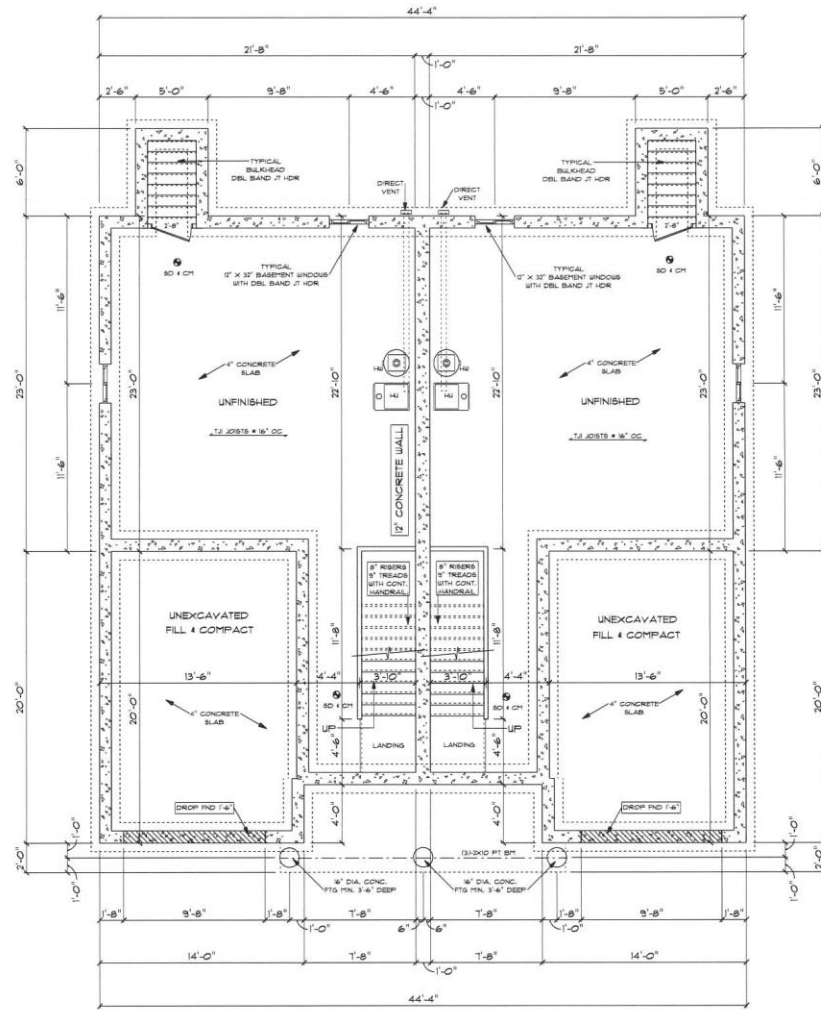
40 X 44 DUPLEX
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 ROBERT GASBARRO
 0 BATCHELLER AVENUE
 GRANITON, RHOODE ISLAND

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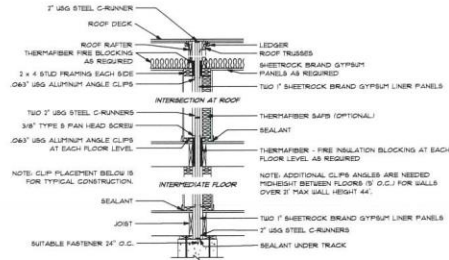
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 2500 W. 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 ALL DIMENSIONS AND MATERIALS TO BE USED AS SHOWN UNLESS OTHERWISE NOTED

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DRAWN BY	DRR
DRAWING NUMBER	6759



FOUNDATION PLAN 1/4"=1'-0"



SECTION VIEW

SOLID AREA REPARATION WALL - 1/2" SHEETROCK BRAND GYPSUM PANELS - TWO 7" SHEETROCK BRAND GYPSUM LINER PANELS SET BETWEEN USG ONE PLY STEEL-H FIBER 3/4" O.C. 2" x 4 USG STUDS W/ O.C. EACH SIDE ON 2" x 4 PLATES MIN. 1/4" FREE LINER PANELS - 7" THERMAMBER SAFES IN ONE CAVITY - GYPSUM PANELS - WITH 1/4" TYPE B SCREWS 1/2" O.C. JOINTS STAG 1/4" FN. - PERM CALKED - UL DES 133A

PLAN VIEW

PARTY WALL DETAIL ~ 1/2"=1'-0"



BACK ELEVATION 1/4"=1'-0"

TYPICAL NAILING SCHEDULE
TYPICAL FLOORS
 JOIST TO WALL OR SILLER, TOE NAIL (3) 8D
 RIM JOIST TO JOIST (3) 8D
 3/4" DECK SHEATHING TO RAFTERS 8D COMMON NAIL
 OR 15GA 3/4" STAPLE OR 1/2" RING OR SCREW SHANK NAILS # 4" FROM EDGES 12" O.C.
TYPICAL BUILT-UP GIRDERS AND BEAMS
 NAIL EACH LAYER WITH 10D NAILS # 32" O.C. AT TOP AND BOTTOM EXPOSED.
 TWO NAILS AT ENDS AND AT EACH SPLICE.
TYPICAL WALLS
 BOTTOM PLATE TO JOIST 8D # 8" O.C.
 STUD TO BOTTOM PLATE (2) 8D OR (3) 8D
 STUD TO TOP PLATE (2) 8D OR (3) 8D
 DOUBLE TOP PLATE (2) 10D # 24" O.C.
 DOUBLE STUDS (2) 8D OR (3) 8D # 16" O.C.
 PLATE SPLICES AT CORNERS AND INTERSECTIONS (4) 10D
 1/2" WALL SHEATHING TO RAFTERS 8D OR 8 GA 1 1/2" STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS # 4" FROM EDGES 12" O.C.
TYPICAL BUILT-UP HEADERS
 TWO PICES WITH 1/2" BRACER 8D # 16" O.C. ALONG EACH EDGE
TYPICAL ROOFS
 CEILING JOIST TO PLATE, TOE NAIL (3) 8D
 CEILING JOIST LAP OVER PARTITION FACE NAIL (3) 10D
 CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL (3) 10D
 RAFTER TO PLATE, TOE NAIL (2) 8D
 1/2" ROOF SHEATHING TO RAFTERS 8D OR 8 GA 1 1/2" STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS # 4" FROM EDGES 12" O.C.

GENERAL NOTES
 BRACES KNOCK-IN ALL BEDROOMS AS PER CODE
 SMOKE DETECTORS & CARBON MONOXIDE AS PER FIRE PROTECTION CODES.
 PROVIDE A 2' x 30" ACCESS OPENING.
 ALL DIMENSIONS, NOTES AND OTHER INFORMATION CONVEYED IN THESE DRAWINGS FOR CONSTRUCTION PURPOSES ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED IN FIELD BY BUILDER / CONTRACTOR ACCORDING TO LOCAL AND STATE BUILDING CODES.
 THIS DRAFTSPERSON SHALL NOT BE RESPONSIBLE FOR ANY CHANGES THAT WOULD TAKE THE STRUCTURE PHYSICALLY UNSAFE.
 UNFORESEEN SITE CONDITIONS MAY CAUSE A DEVIATION FROM THE CONSTRUCTION DOCUMENTS AND IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO INSURE STRUCTURAL STABILITY AND CONFORMANCE TO APPLICABLE CODES.
WOOD ROOF TRUSS SYSTEMS
 TO BE DESIGNED, MANAGED, INSTALLED AND BRACED IN ACCORDANCE WITH (TRU) RECOMMENDATIONS. PROVIDE APPROVED TRUSS ENGINEERING AND LAYOUT TO OWNER AND BUILDING OFFICIAL PRIOR TO START OF CONSTRUCTION.

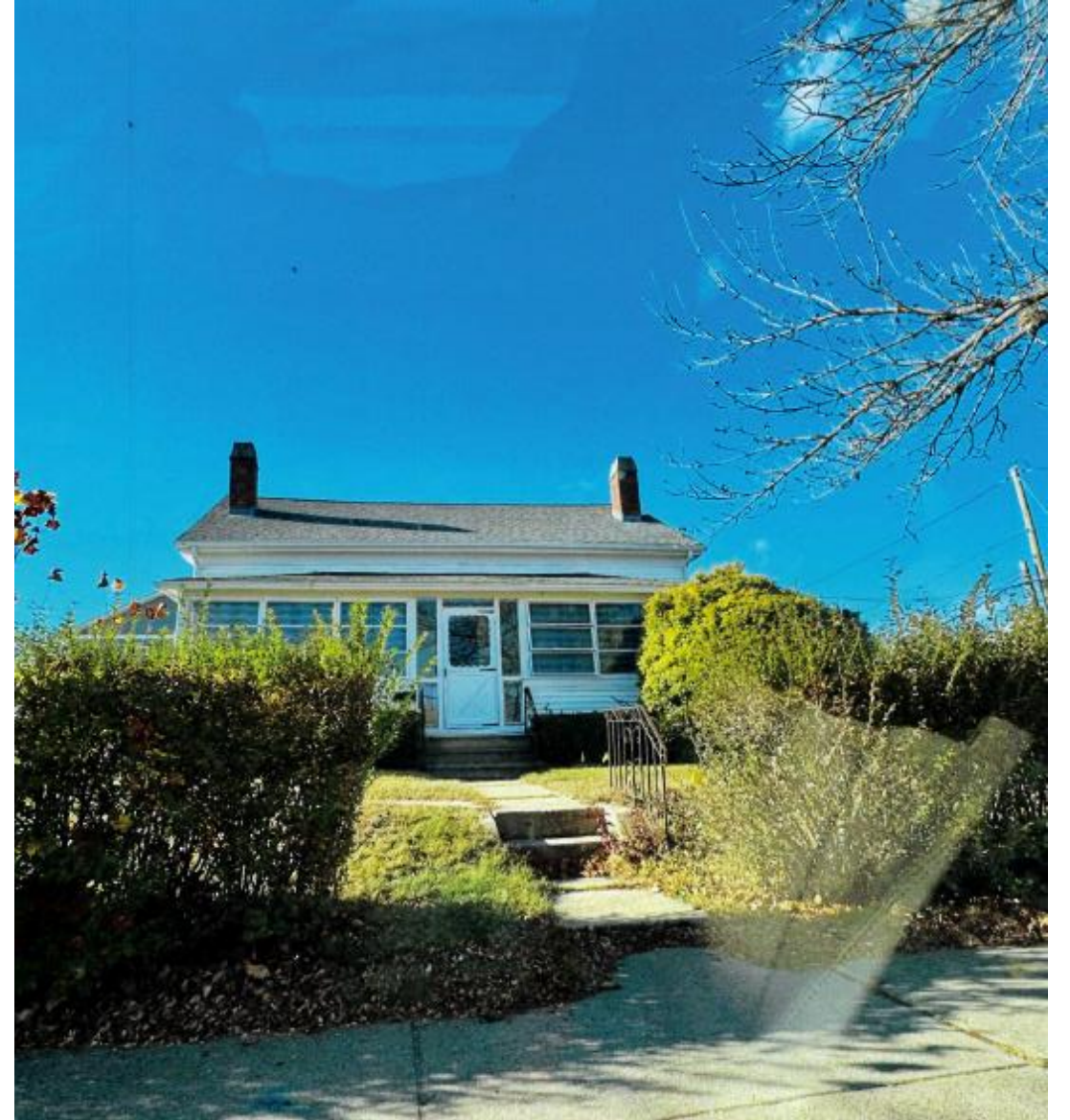
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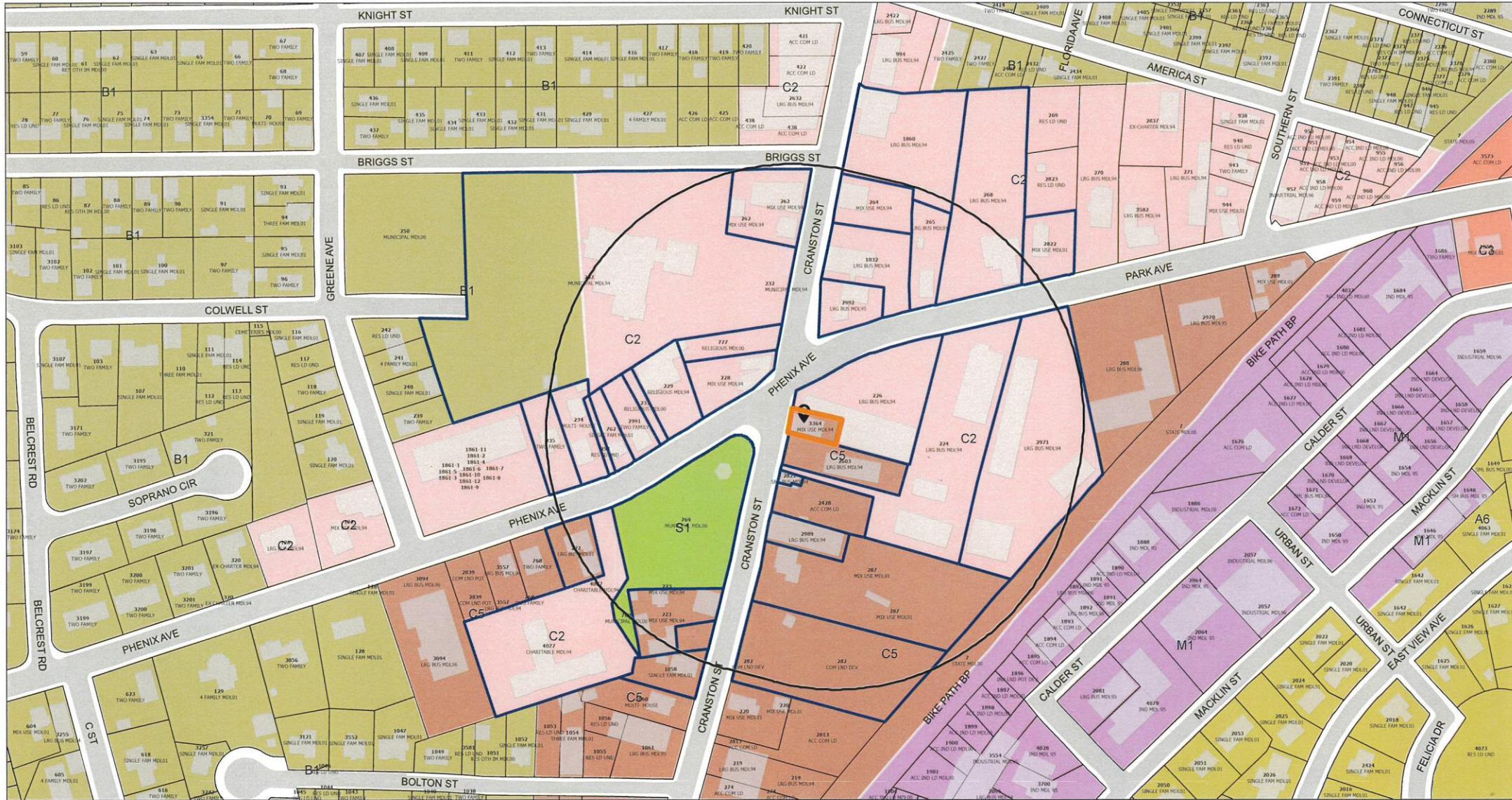
► **Ward 5**

► **ALEXANDRIA REALTY, LLC (OWN) and BENJAMIN VITI (APP)** has filed an application to divide an existing commercial space to create an additional residential unit at 1728 Cranston Street, A.P. 11, lot 3364; area 3,528 sf; zoned C5. Applicant seeks relief per Section 17.92.010-Variances; sections 17.20.030- Schedule of Uses; 17.88.030- Extension; 17.20.090 (B)- Specific Requirements; 17.64.010- Off-Street Parking. Application filed on 11/15/2024.

► **Attorney Marc B. Gertsacov, Esq.**



1728 Cranston St 400' Radius Plat 11 Lot 3364



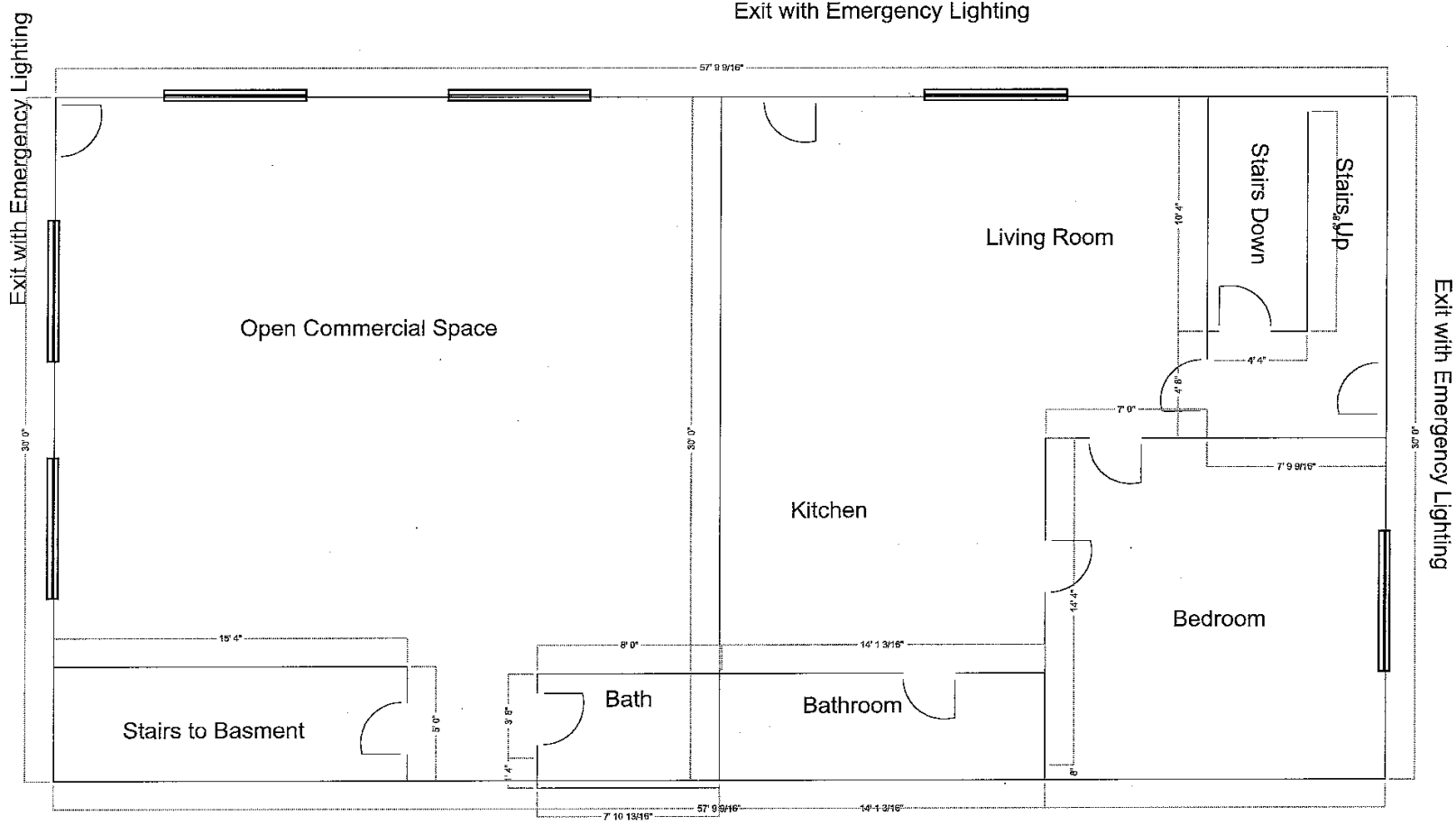
<https://geohub-cranston.hub.arcgis.com/>

- | | | | |
|-----------------------|---------------------------|-----|-------|
| SelectedParcels | Cranston Boundary | A20 | M1 |
| SelectedParcelsBuffer | Parcels | A6 | M2 |
| ParcelsInBuffer | Cranston Boundary | A8 | MPD |
| Hydro Poly 2001 | Roads | A80 | Other |
| Stream/Water Body | Historic Overlay District | B1 | S1 |
| Swamp | Zoning | B2 | |
| Buildings | A12 | C1 | |
| | | C2 | |
| | | C3 | |
| | | C4 | |
| | | C5 | |
| | | EI | |



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1728 Cranston St Existing Floor plan



1728 Cranston St Existing Site Plan and Parking

